

**CARLYON BEACH HOMEOWNERS ASSOCIATION
TYPE 2 APPLICATION**

Owner Name _____

Date _____

Property Address _____

Phone _____

Construction Manager / Contractor _____

Phone _____

APPLICATION PROJECT:

- Carport* Deck* Garage/Shop* Concrete Pad Retaining wall
 Septic System* Bulkhead Culverts* Additions* New Driveways*
 Garage Conversions into Livable Space*

***NEEDS AS EASEMENT AGREEMENT**

Per CBHA By-Laws and Rules and Regulations prior to receiving a permit, all owners must provide a 5 ft. drainage easement on the three non-street sides of lot, filed with Thurston County.

(See attached example of easement agreement)

Maximum height for all structures is 16 feet with or without a basement.

If the Garage or other structures are detached and separate from the house, each structure must meet the height requirement at its pre-developed grade. All building and structures to be one story in height not counting basement except when a variance is granted by the architecture committee of CBHA. A variance may be granted on a case-by-case basis for no more than 1 foot above the 16-foot height limit.

(see Building Height Measurement Example)

Building setbacks for CBHA are as follows:

Division 1 - Front setback 30' from the property line (not the road)

Division 2 – Front setback 20' from the property line (not the road)

Side and back setbacks for both Divisions is 5' from the dripline (gutter)

The above setbacks apply to all structures including stairs, decks and porches.

Site Plan must accompany all applications for Type 2 showing existing buildings, property lines, and setbacks for all proposed projects, any new drainage needed, and any erosion control measures needed. Where applicable 2 sets of architecture plans need to be submitted with the application. (See current Rules and Regulations for any further information for submittal).

NOTE: Construction requiring clearing and grading a lot, digging for a foundation or septic, or concrete work may only be started and completed during the period of April 1 thru October 15 unless approved by the Architecture Committee.

SEPTIC INFORMATION

Per CBHA By-Laws and Rules and Regulations, your pump-out connection must be brought to within one foot of the property line prior to receiving a septic system permit. (See attached septic information)

Disclosure of CBHA requirements (Applicant to Initial each item)

Proceed in compliance with CBHA and Thurston County and in accordance with the approved plans. This includes responsibility for items that will not be formally inspected by CBHA Site Inspector.

- () I have read and understood the By-Laws, Rules and Regulations and Covenants as they relate to building, septic systems, or any other project that I have applied for.
- () Any damage to CBHA property by contractors, sub-contractors or suppliers is the responsibility of the owner. If repairs must be at CBHA expense, any and all costs will be assessed to the owner.
- () Any and all costs associated with legal enforcement of CBHA requirements or any other legal fees or fines associated with this permit will be assessed to and paid for by the owner.
- () A manufacture spec sheet of the septic tank needs to be furnished to CBHA prior to installation

- \$ 42.00 – Non-refundable application fee
- \$300.00 – Refundable damage deposit
- \$245.00 - If applicable, septic system inspection fee

AFFADAVIT: I (we) agree with these requirements and accept the responsibilities

Owner Signature _____ Date _____

Construction Manager/ Contractor Signature _____ Date _____

Architecture Trustee Approval _____ Date _____

Architecture Member Approval _____ Date _____

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Office Use Only: Owner is a member in good standing _____, documents are complete and Approved _____, and fees paid _____.

Permit Approved (date) _____ By _____

Permit Issued (date) _____ By _____

Permit Issued (date) (Thurston County permit approved- if applicable) _____

Permit Expires (date) _____

CBHA OWNER/BUILDER CHECKLIST

PERMIT TYPE 2

1. OWNER _____

ADDRESS _____

OWNER & BUILDER RESPONSIBILITIES	OWNER INITIALS	CALLED INSPECTED NOTES	DATE
1. If new building (garage, etc.) or addition attend the Architecture Meeting when the Permit Application is reviewed			
2. If new building (garage, etc.) or addition stake out new building and have CBHA Site Inspector "shoot grades" for 16' height limit			
3. If building needs permit from Thurston County call Office when permit is issued. Set up preconstruction meeting with CBHA Site Inspector and Owner / Builder			
4. Post Permit (for all Permit Type 2) . For applicable permits where digging is to be done, call for all locates. CBHA does water locates only			
5. If new building or addition or where any dirt moving is needed make sure erosion control is in place			
6. If new building or addition call Office & CBHA Site Inspector after trusses are installed to recheck 16' height limit & all setbacks			
7. If drainage is included in permit, call Office & CBHA Site Inspector for inspection before it is covered			
8. If Septic is involved supply septic specs before installing. Call Office to set up testing & inspection before covering			
9. If culvert and driveway is involved call Office and CBHA Site Inspector for inspection of driveway width & culvert depth			

10. Make sure bioswales are restored if they Have been damaged			
11. All other activity for this type permit, call Office & CBHA Site inspector for inspection			

Name
Address
Address

DOCUMENT: STORM WATER EASEMENT AGREEMENT

GRANTOR (S)

GRANTEES: CARLYON BEACH HOMEOWNER'S ASSOCIATION

LEGAL:

PARCEL:

STORM WATER EASEMENT AGREEMENT

For A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, the undersigned Grantor(s) do(es) give and grant to Carlyon Beach Homeowner's Association, its heirs and assigns a 5' wide stormwater easement for the purpose of construction, repair, and maintenance of Storm Water Conveyance and/or Potable Water Pipelines and appurtenances.

PARCEL:

See Exhibit "A" attached hereto and by this reference is a part hereof.

PERMANENT EASEMENT

Said easement is described as follows, TO WIT:

Said easement shall include the right of ingress/egress to, upon and over said land at all times, to construct, maintain and operate, repair, and replace said stormwater and utility systems, provided the Carlyon Beach Homeowner's Association shall be given the right to utilize such additional width as may be available and necessary temporarily for the placing of excavated materials thereon and for the construction and maintenance operations.

Carlyon Beach Homeowner's Association, its heirs and assigns agree that in construction, maintenance, operation, repair or replacement of said stormwater and utility system on the above described property, that it will, at its expense, restore surface of said land to the same conditions which existed prior there to.

Dated at Olympia, Washington, this ____ day of _____, _____

Owner(s) of Lot ____ , Block ____ Division ____ Plat of Carlyon Beach Country Club (owner's signature)
_____ and _____

STATE OF WASHINGTON

COUNTY OF THURSTON

On this ____ day of _____, _____ before me personally appeared _____

and _____ to me know to be the individual(s) described and who executed the foregoing instrument and acknowledge that said instrument to be free and voluntary act and deed of said private lot owner(s) for the use and purposes therein mentioned.

Given under my hand and official seal this ____ day of _____, _____

Notary Public in and for the State of Washington

Residing in _____

My commission expires _____

Dated in Olympia, Washington this ____ day of _____, _____

Carlyon Beach Homeowner's Association _____

STATE OF WASHINGTON

COUNTY OF THURSTON

On this day and year below personally appeared before me _____ as authorized agent for the Carlyon Beach Homeowner's Association, who acknowledged that the aforementioned instrument to be free and voluntary for the use and purposes therein mentioned, and oath states he/.she./they is authorized to execute said instrument.

Given under my hand and official seal this ____ day of _____, _____

Notary Public in and for the State of Washington

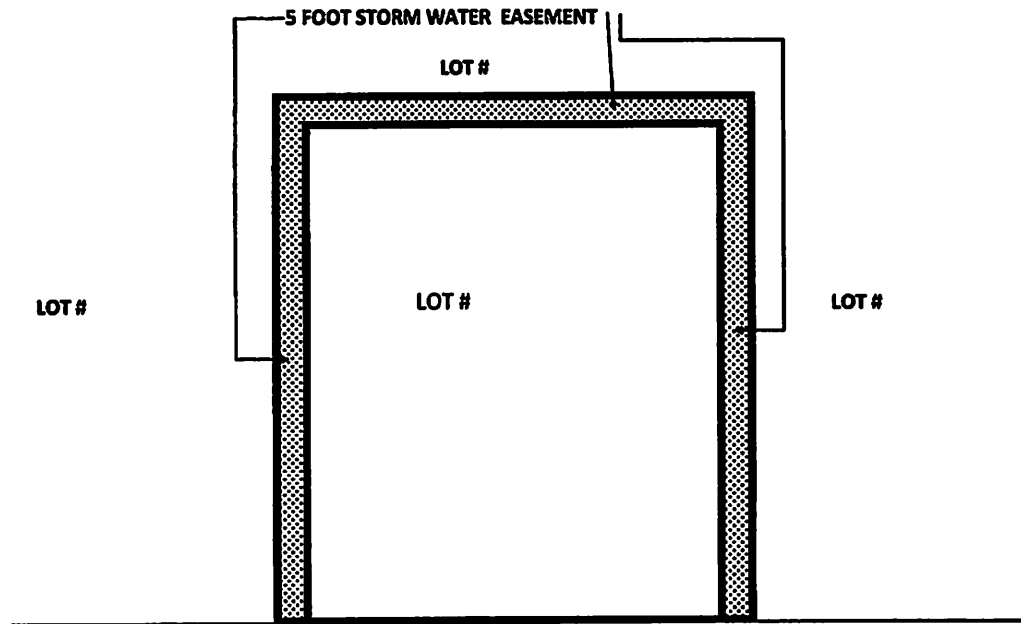
Residing in _____

My commission expires _____

STORM WATER EASEMENT EXHIBIT "A"

LOT ADDRESS _____
PLAT _____
LOT NUMBER _____
BLOCK NUMBER _____
DIVISION _____
OWNER(S) _____
STREET ADDRESS _____
CITY _____
STATE _____ ZIP _____
PHONE _____

NORTH ARROW



Who filled out this form?

Signature _____

Printed _____

Date _____

STORMWATER EASEMENT INSTRUCTIONS

SIMPLE FORM

- 1. Fill out the form using the accompanying example as a guideline**
- 2. Sign in front of a notary**
- 3. CBHA representative to sign as well (CBHA office personnel or Board member)**
- 4. Take signed easement to Thurston County for recording.**
- 5. Bring the recorded document back to CBHA office and have a copy made for your application and file**

Owner's name

Owner's address where they live

DOCUMENT TITLE: STORMWATER EASEMENT

GRANTORS: *OWNER'S NAME*

GRANTEES: CARLYON BEACH HOMEOWNER'S ASSOCIATION

LEGAL: *OWNER'S LOT, BLOCK AND DIV OF CARLYON BEACH COUNTRY CLUB*

PARCEL: *OWNER'S PARCEL NUMBER*

STORMWATER EASEMENT

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, the undersigned Grantor(s) do (es) give and grant to Carlyon Beach Homeowner's Association, its heirs and assigns a 5' wide storm water/utility easement for the purpose of construction, repair, and maintenance of Storm Water Conveyance and/or Potable Water Pipelines And Appurtenances.

PARCEL: * Owner's Parcel Number

See Exhibit "A" attached hereto and by the reference is a part of

PERMANENT EASEMENT:

Said easement is described as follows, TO WIT:

****The west 5 feet 120 feet along west property line; then the north 5 feet 70 feet along the north property line; then the east 5 feet along the east property line.***

NOTE (The above description is an example only of a very simple easement. The dimensions and directions must match the owner's lot)

(To find all the information on your lot either refer to your paperwork when you purchased the property or go to Thurston County Assessor's web site and click on property search, enter your name or address and you will bring up a parcel number. Click on the parcel number and it will bring up the information you need.)

Said easement shall include the right of ingress and egress to, upon, and over said land at all times, to construct, maintain, and operate, repair, and replace said utility provided however, that Carlyon Beach Homeowner's Association shall be given the right to utilize such additional width as may be available and necessary temporarily for the placing of excavated materials thereon, and for other construction and maintenance operations.

The Carlyon Beach Homeowner's Association, its heirs and assigns agree that in construction, maintenance, operation, repair, or replacement of said utility on the above described property, that it will, at its own expense, restore surface of said land to the same conditions which existed prior thereto.

Dated at Olympia, Washington, this _____ day of _____

Owner of Lot * Owner's Lot Number

Block__ Division__ * Owner's Block and Div. 1 or Div. 2

STATE OF WASHINGTON)
) ss
COUNTY OF THURSTON)

On this ____ day of _____, _____, before me personally appeared _____ and _____, to me know to be individual(s) described and who executed the foregoing instrument and acknowledge the said instrument to be free and voluntary act and deed of said private lot for the uses and purposes therein mentioned.

Given under my hand and official seal this _____ day of _____

Notary Public in and for the State of Washington
Residing in _____
My commission ends _____

Dated at Olympia, Washington, this _____ day of _____,

By _____

Dated at Olympia, Washington, this _____ day of _____,

Carlyon Beach Homeowner's Association _*(Office staff or Board member signature)

STATE OF WASHINGTON)
) ss
COUNTY OF THURSTON)

On this day and year above personally appeared before me as Authorized Agent of Carlyon Beach Homeowner's Association, who executed the foregoing instrument, and acknowledged the said instrument to be the free an voluntary act an deed of said Municipal Corporation for the uses and purposes therein mentioned and on oath states he is authorized to executed said instrument.

Given under my hand and official seal this _____ day of _____,

Notary Public in and fro the State of Washington
Residing in _____
My commission ends _____

Dated at Olympia, Washington, this _____ day of _____,

By _____

**STORMWATER EASEMENT
EXHIBIT "A"**

LOT ADDRESS:

LOT NO. : * *Owner's Address, Lot #, Block # and Div. #*

BLOCK NO. :

DIVISION :

OWNERS :

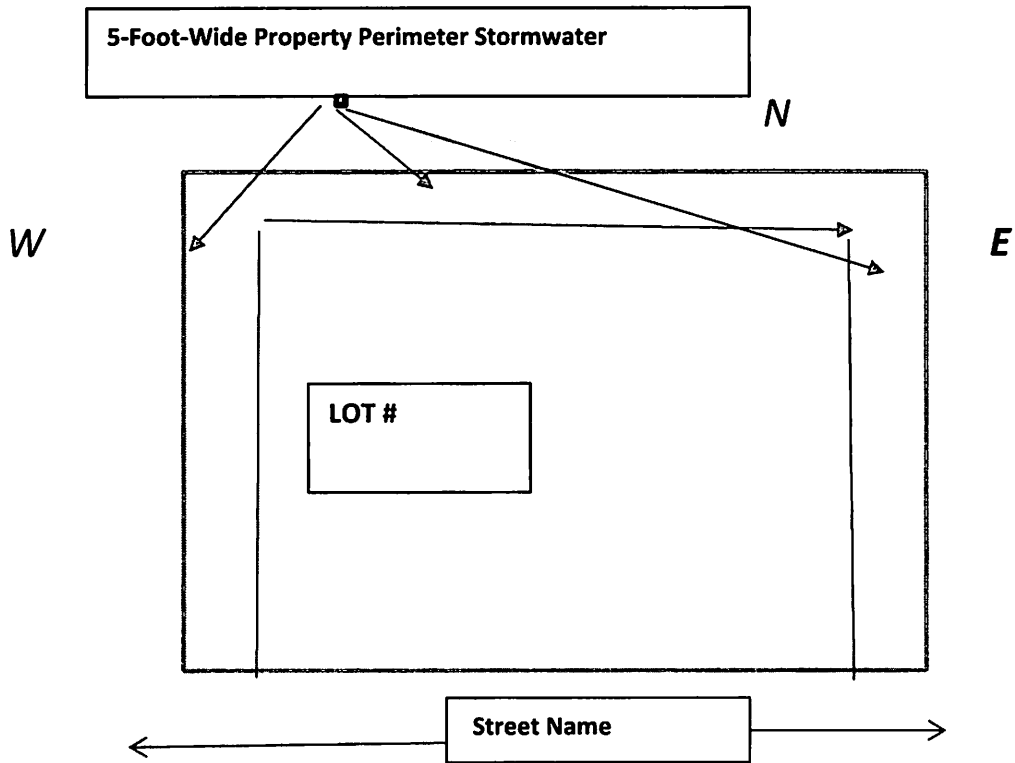
STREET ADDRESS: * *Owner's information*

CITY :

STATE :

ZIP CODE :

TELEPHONE:



Form Prepared By _____
Signature _____
Date _____