

CARLYON BEACH HOMEOWNER'S ASSOCIATION
OWNER'S BUILDING PACKET
PERMIT 1

CARLYON BEACH HOMEOWNERS' ASSOCIATION
TYPE 1 APPLICATION
NEW CONSTRUCTION/ ONLY NEW MAUFACTURED HOME

Owner Name _____ Date _____

Owner Address _____ Owner Phone # _____

Lot # _____ Block _____ Div. _____ Parcel Number _____ Lot Address _____

Construction Manager/Contractor Name _____ Phone # _____

Address _____

Authorized Person to contact during construction _____ Phone# _____

Construction Manager is: () Owner () Contractor () Consultant () Other _____

Note: You must receive a permit from CBHA before you can apply for a permit from Thurston County

Summary proposed construction

() Frame House () New Manufactured Home () Other _____

Total square footage including basement _____ Attached Garage square footage _____

Detached Garage square footage _____ Deck, Covered Patio, or Porch square footage _____

Number of bedrooms _____ Number of bathrooms _____

Volume of septic tank 1000 gallons min. & 1500 gallons max., holding tank 1000 gallons min.
& 1500 gallons max.

House measurements: Front _____ Left Side _____ Right Side _____ Rear _____

Structure height from the highest point of the lot where the foundation or slab
meets pre-developed grade to the roof peak _____ () Applicant's Initials

Maximum height for all structures is 16 feet with or without a basement.

If the Garage or other structures are detached and separate from the house, each structure must meet the height requirement at its pre-developed grade. All building and structures to be one story in height not counting basement except when a variance is granted by the architecture committee of CBHA. A variance may be granted on a case-by-case basis for no more than 1 foot above the 16-foot height limit. (See Building Height Measurement Example)

Building setbacks for CBHA are as follows:

Division 1 - Front setback 30' from the property line (not the road)

Division 2 – Front setback 20' from the property line (not the road)

Side and back setbacks for both Divisions is 5' from the dripline (gutter)

The above setbacks apply to all structures including stairs, decks, and porches.

REQUIRED SUPPORTING DOCUMENTS FOR CBHA TYPE 1 BUILDING PERMIT SUBMITTAL

Supporting documents must fully disclose and describe the work to be done, in adequate detail, to verify compliance with CBHA requirements. Each drawing and document should list the owner's name, address, and legal description of the lot.

Please initial each item to show they have been provided to CBHA

() Site Plan requirements (see example)

- 1. Drawn to engineers' scale on 11"x 17" paper or smaller. Scale noted**
- 2. North arrow**
- 3. All property lines and lot dimensions**
- 4. Location of all existing and proposed easements**
- 5. All proposed and existing structures and their setbacks from all property lines**
- 6. Location of all existing and proposed utility lines and structures**
- 7. Location of septic holding tanks and indicate the elevation of tanks in relation to finished grade after landscaping.**
- 8. Show septic line separation. (Minimum 10')**
- 9. Show all roof and footing drains and all cleanouts**
- 10. Existing and proposed driveways and dimensions (Total driveway width is a maximum of 24')**
- 11. Topographic information (contour lines or elevations) for entire property. This may be based on Thurston County contour maps.**
- 12. Erosion and sediment control plan both during and after construction**
- 13. Trees to be removed and/or replaced and what landscape requirements for the area between the house and the street will be implemented. (See Rules and Regulations for tree landscape requirements)**
- 14. Other items county may require impervious surface calculations, all areas to be cleared.**

CBHA needs 3 copies of Site Plan

() Architecture Drawings showing existing and proposed grade elevations and elevations showing 16' height from pre-developed grade. The drawings should be complete, showing all floorplans, front, side and rear elevations and any necessary engineering required. 3 Sets required for CBHA

() Storm Water Drainage Plan showing lot topography before and after construction and features to control runoff from impervious surface areas. This plan may be combined with Site Plan if not too busy or it may be separate. Note – Thurston County may require an engineered drainage plan depending on your lot coverage and soil type. See Thurston County website for information.

- () Copy of all Easements, Covenants, and Restrictions of record. (See attached Stormwater Easement Easement Agreement required for Type 1 Permit – may be done by third party or professional.)
- () Copy of Professional Survey from the last 5 years. The survey may show the topography of the lot or at least the four corner elevations. The architectural elevations should match the topography
- () Utility Locates: CBHA will locate CBHA waterlines only. Call the CBHA office 48 hours in advance of any digging. All other utility lines including private waterlines need to be located by calling 811
- () A manufacture spec sheet of the septic tank needs to be furnished to CBHA prior to installation

DISCLOSURE OF CBHA REQUIREMENTS

Applicant to initial each item

- () I have read and understood the By-Laws, Rules and Regulations, and the Covenants of CBHA as they relate to building and construction and understand that these documents preclude any other statements
- () The Owner, Construction Manager and/or Contractor are aware of the phases of the CBHA building process. Construction must proceed in the following phases:
 - Phase 1 - Pre-Construction
 - a. Turn in all plans and supporting documents to CBHA office.
 - b. Owner is to attend the Architecture meeting when the application is to be reviewed
 - c. Have CBHA Site Inspector shoot grades for height limit (if not already done)
 - Phase 2 – Permits and Preconstruction Meeting
 - a. Obtain both sets of building permits – first CBHA the Thurston County and post both permits on site.
 - b. Owner and Builder to have a preconstruction meeting with CBHA Site Inspector to go over all Owner and Builder responsibilities, answer any questions and shoot grades for height limits if not already done.
 - Phase 3 -Construction
 - a. Setbacks established, clearing, grading, construction driveway, erosion control, culvert installed and signed off by CBHA Site Inspector. Construction cannot proceed until signed off.
 - b. Foundation forms installed and inspected by CBHA Site Inspector for setbacks
 - c. Install trusses and have CBHA Site Inspector recheck height and sign off.
 - d. Install septic and call CBHA office for inspection. Install all storm drainage and get signed off.
 - Phase 4 – Cleanup and Restoration

Prior to getting an occupancy permit all inspections must be signed off by CBHA Site Inspector. See Rules and Regulations for more information.
 - Phase 5 – Landscaping

Landscaping shall be completed in 18 months from the start of construction, and no later than 12 months from occupancy. \$500.00 will be held until completed.

- () The Owner, Construction Manager and/or Contractor is responsible for assuring that all work and construction is inspected and signed off at the proper time. Call the CBHA Office and the CBHA Site Inspector to schedule the inspections.
- () Work that fails inspections must be corrected and re-inspected. Fees for repeat inspections will be paid for CBHA and, will in turn, be assessed to the owner
- () I am aware that CBHA inspections are independent of Thurston County inspections and must be followed according to CBHA phases.
- () Approved portable toilets and trash barrels must be furnished and paid for by the owner.
- () Any damage to CBHA property by contractors, sub-contractors, or suppliers is the responsibility of the owner. This includes any damage to the bioswales. If repairs must be made at CBHA expense all costs incurred by CBHA will be assessed and paid for by the owner.
- () Any and all costs associated with legal enforcement of CBHA requirements or any other legal fees and fines associated with this permit will be assessed to and paid for by the owner.

Permit Fees for Type 1 Application and Permit for CBHA

\$ 42.00	Non-refundable application fee (collected at time of application)
\$1,825.00	Damage deposit for new construction, a non-interest-bearing deposit for legal fees fines, or other costs to be returned after construction and all inspection are signed off including landscaping by CBHA Site Inspector and complete. This includes any damage to the bio swales.
<u>\$2,088.00</u>	Permit Fee (paid at the time of approval)
<u>\$3,955.00</u>	TOTAL FEE INCLUDING DAMAGE DEPOSIT (Less \$1,225.00 if already paid for water hook-up).

The owner is responsible for all licensed engineer fees for lot surveys, any topography needed, an easement agreement or any storm water drainage plans.

Owner Signature _____ Date _____

Construction Manager/ Contractor Signature _____ Date _____

The Carlyon Beach Homeowners Association makes no assurances or analysis as to the stability of the homeowner's property and/or adjoining property within Carlyon Beach development. It is the responsibility of the owner to undertake an analysis of the usability and stability of the property.

DISCLOSURE: *CBHA may disclose information from the application for building permit to adjacent or nearby property owners who may be affected by the proposed construction. CBHA may consider information from these property owners when reviewing the application.*

PERMIT APPROVAL:

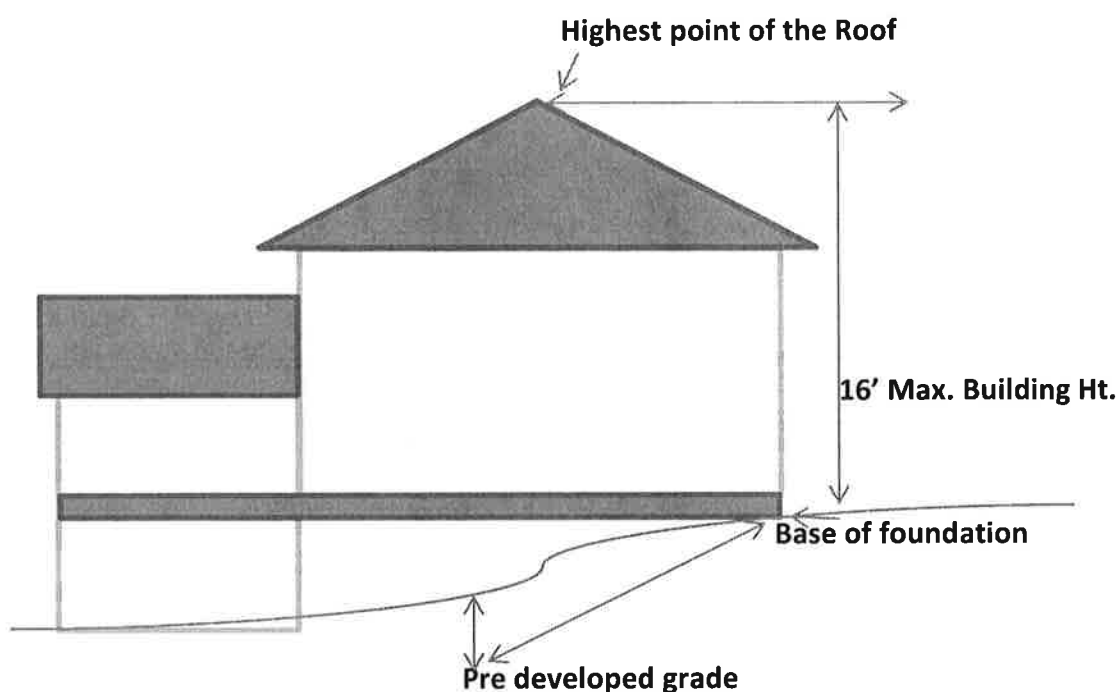
Architecture Trustee Approval _____ Date _____

Architecture Member Approval _____ Date _____

CBHA BUILDING HEIGHT MEASUREMENT

HOW IS BUILDING HEIGHT MEASURED?

Building height is measured from the highest pre developed grade at the base of the foundation of each separate building¹ to the highest point of a flat roof or the highest ridge of a pitched roof. Maximum building height with or without a basement is 16' unless the Architecture Committee grants a variance. (A VARIANCE NEEDS TO BE APPLIED FOR BEFORE ANY CONSTRUCTION STARTS.)

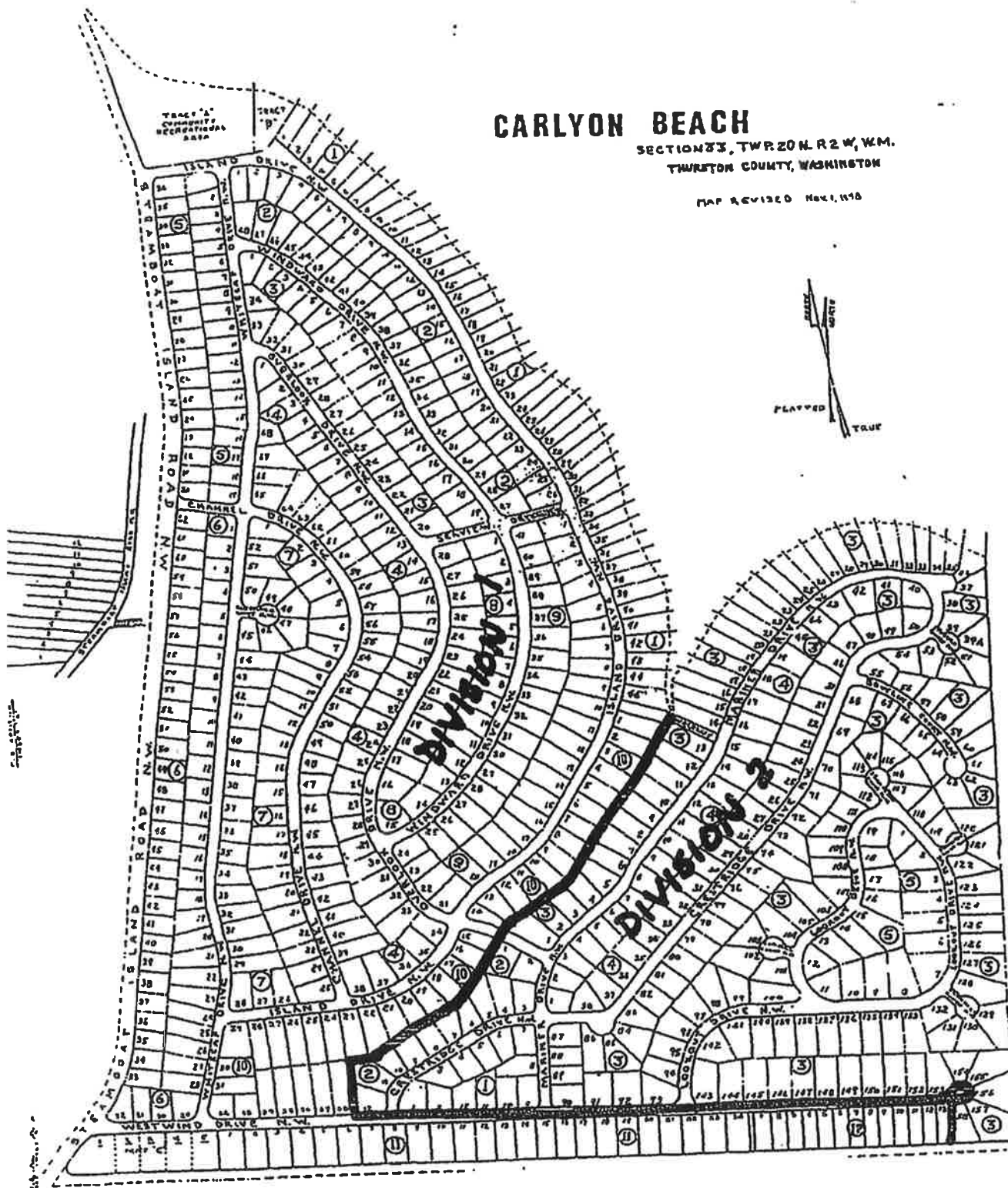


- 1 Separate buildings mean a residence and a separate detached garage or garages. They are considered to be two or more separate buildings. If the buildings are connected with a roof or foundation they can be considered one building.

Owner Signature _____ Date _____

CBHA Signature _____ Date _____

DIVISION 2 - 20 FT SETBACK



CBHA OWNER/ BUILDER CHECKLIST

PERMT TYPE 1

OWNER:

ADDRESS:

OWNER & BUILDER RESPONSIBILITIES	OWNER INITIALS	CALLED INSPECTED NOTES	DATE
1. Attend Architecture Meeting when Permit Application is reviewed.			
2. Stake out corners of house & have CBHA Site Inspector "shoot grades" for 16' height limit the survey required should show the elevation of all 4 corners of the lot			
3. Call Office when permit is issued from Thurston County to schedule & attend a Preconstruction Meeting with CBHA Site Inspector, Owner & Builder. Supply septic specs if not supplied with application			
4. Post Permit Call for All Locates – CBHA locates water only			
5. Call Office & CBHA Site Inspector when clearing & grading is to be started, portable toilet, erosion control, construction driveway, & culvert are installed			
6. Call Office & CBHA Site Inspector when foundation & footing drains are in (before covering) for inspection			
7. Call Office CBHA Site Inspector when trusses are installed to remeasure 16, height limit			
8. Call Office & CBHA Site Inspector when all other storm water drainage is installed (before covering) For inspection			
9. Call the Office when septic is installed to set up testing & inspection			
10. Make sure bioswales are restored if they have been damaged			
11. Call the Office when project is completed & to obtain an Occupancy Certificate. The Right to Occupy is contingent on compliance with CBHA requirements. (See Property Maintenance & Timelines & Standards for Buildings in CBHA sections in the CBHA Rules and Regulations) Be sure all inspections have been signed off by CBHA Site Inspector.			
12. Call the office when Landscaping is done. See Rules and Regulations for more information.			
NOTE – If any clearing & grading is to be done between Oct 1 & April 1 obtain <u>Architectural approval</u> & cover all unworked dirt during the construction process.			

Setback Definition:

A distance from a curb, property line, or structure within which building is prohibited.

Setbacks are building restrictions imposed on property owners. Local governments create setbacks through ordinances and **Building Codes**, usually for reasons of public policy such as safety, privacy, and environmental protection. Setbacks prevent landowners from crowding the property of others, allow for the safe placement of pipelines, and help to preserve wetlands. Setbacks form boundaries by establishing an exact distance from a fixed point, such as a property line or an adjacent structure, within which building is prohibited. Generally, prospective buyers learn that land is subject to setback provisions when they are considering purchasing it. This information is important to future development plans, because setbacks remain in effect until changed by law or special action of a local government.

Setbacks can significantly affect a property owner's right to develop land or to modify existing structures on the land. For this reason they can influence property values; severe restrictions on land can decrease its value. Violating setback provisions can lead to legal action against a property owner, and penalties can include fines as well as an order to remove noncompliant structures. Property owners whose desire to build is stymied by setbacks have few remedies. They can petition their local government by applying for a variance—a special permission to depart from the requirements of **Zoning** ordinances—but variances are generally granted only in cases of extreme hardship. Litigation over setbacks is common.

SUPPORTING DOCUMENTS TO ACCOMPANY APPLICATION FOR PERMIT TYPE 1

Storm Water Easement Information:

Prior to a Permit Type 1 being approved and before any clearing or any site preparation of your lot, a 5' easement on three sides of your property must be granted to CBHA and a copy of that easement must be supplied with the application. The copy must show that it has been recorded in Thurston County.

The easement is necessary for construction, repair, and maintenance of Storm Water Conveyance and or Potable Water Pipelines and Appurtenances. The easement affords all signature protection.

Attached are forms which must be completed with original signatures, notarized and recorded. The forms may be filled out by the owner (notarized signature) and/or a third party who is knowledgeable about easements. As the property owner you will be billed for the third party's services.

CBHA Building Height Measurement

Form to be filled out and signed by owner verifying that the project will adhere to the 16' height limit. The form will also be when the CBHA Site Inspector "shoots the grade" to determine proper height elevation for your project. Both parties will sign, and date and the height elevation listed on the form

The form is attached.

Site Plan and Storm Water Drainage Plan

See site plan examples attached.

See engineering diagrams attached for types of storm water systems that may be included in a storm water drainage plan.

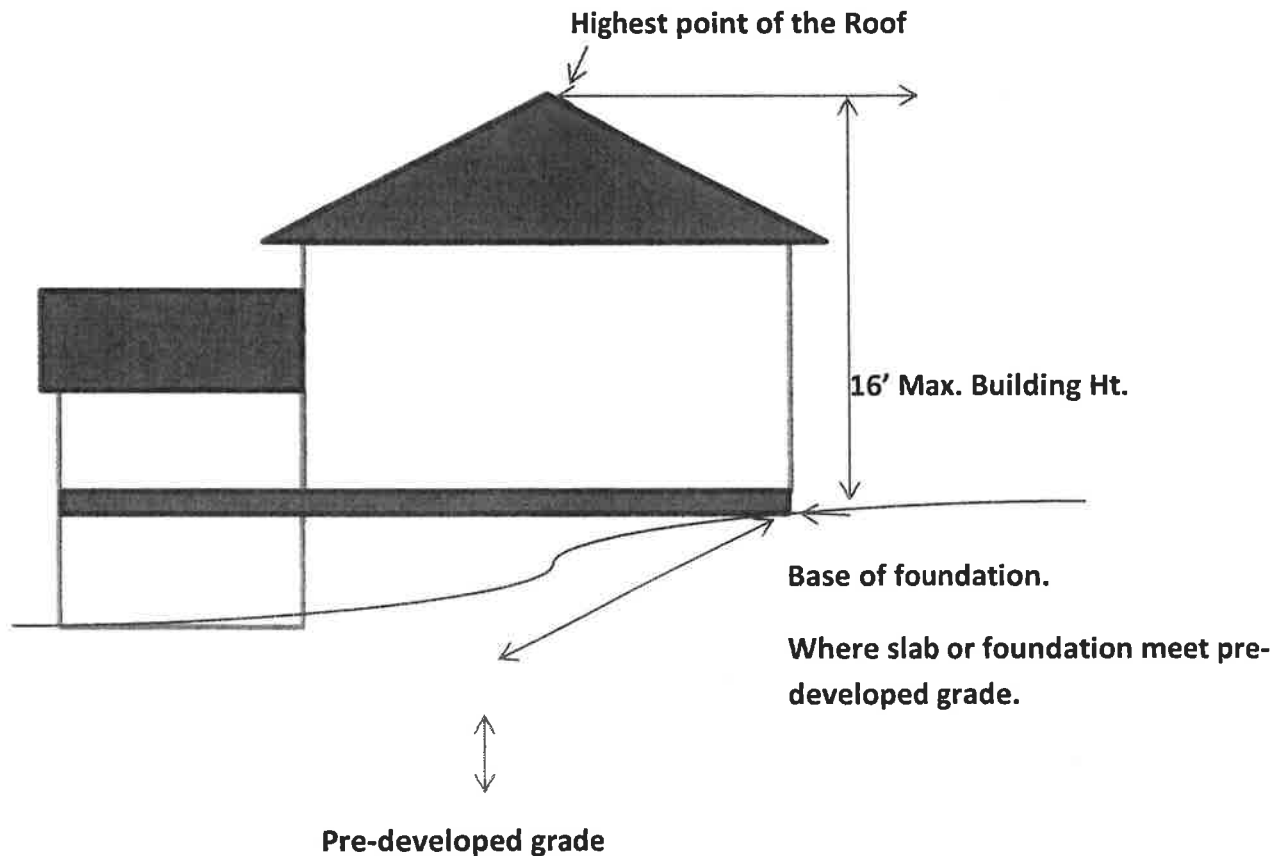
Other

Other engineered diagrams that may be helpful in applying for this permit for CBHA and Thurston County.

CBHA BUILDING HEIGHT MEASUREMENT

HOW IS BUILDING HEIGHT MEASURED?

Building height is measured from the highest pre-developed grade where the foundation or slab meet that pre-developed grade of each separate building¹ to the highest point of a flat roof or the highest ridge of a pitched roof. Maximum building height with or without a basement is 16' unless the Architecture Committee grants a variance. A variance may be granted on a case-by-case basis for no more than 1 foot above the 16' height. (A VARIANCE NEEDS TO BE APPLIED FOR BEFORE ANY CONSTRUCTION STARTS.)



1. Separate buildings mean a residence and a separate detached garage or garages. They are considered to be two or more separate buildings. If the buildings are connected with a roof or foundation, they can be considered one building.

Owner Signature _____ Date _____

CBHA Signature _____ Date _____

STORM WATER/WATER SYSTEM EASEMENT INFORMATION

Prior to clearing or any site preparation of your lot, an easement must be granted to CBHA, a copy of that easement must be supplied to the CBHA office.

The copy must show the easement has been recorded in the Thurston County Assessor's and/or Treasurer's office. This easement is necessary for construction, repair, and maintenance of Storm Water Conveyance and or Potable Water Pipelines and Appurtenances ... The easement affords all signatures needed protection.

Attached are forms which must be completed with original signatures, notarized, and recorded, then returned to CBHA office. The forms should be filled out by the homeowner (notarized signatures) or an engineer or a third party who is knowledgeable about easements. As the property owner you will be billed for an engineer or third party's services.

STORMWATER EASEMENT INSTRUCTIONS

SIMPLE FORM

- 1. Fill out the form using the accompanying example as a guideline**
- 2. Sign in front of a notary**
- 3. CBHA representative to sign as well (CBHA office personnel or Board member)**
- 4. Take signed easement to Thurston County for recording.**
- 5. Bring the recorded document back to CBHA office and have a copy made for your application and file**

Name
Address
Address

DOCUMENT: STORM WATER EASEMENT AGREEMENT

GRANTOR (S)

GRANTEES: CARLYON BEACH HOMEOWNER'S ASSOCIATION

LEGAL:

PARCEL:

STORM WATER EASEMENT AGREEMENT

For A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, the undersigned Grantor(s) do(es) give and grant to Carlyon Beach Homeowner's Association, its heirs and assigns a 5' wide stormwater easement for the purpose of construction, repair, and maintenance of Storm Water Conveyance and/or Potable Water Pipelines and appurtenances.

PARCEL:

See Exhibit "A" attached hereto and by this reference is a part hereof.

PERMANENT EASEMENT

Said easement is described as follows, TO WIT:

Said easement shall include the right of ingress/egress to, upon and over said land at all times, to construct, maintain and operate, repair, and replace said stormwater and utility systems, provided the Carlyon Beach Homeowner's Association shall be given the right to utilize such additional width as may be available and necessary temporarily for the placing of excavated materials thereon and for the construction and maintenance operations.

Carlyon Beach Homeowner's Association, its heirs and assigns agree that in construction, maintenance, operation, repair or replacement of said stormwater and utility system on the above described property, that it will, at its expense, restore surface of said land to the same conditions which existed prior there to.

Dated at Olympia, Washington, this ____ day of _____, _____

Owner(s) of Lot _____, Block _____ Division _____ Plat of Carlyon Beach Country Club (owner's signature)
_____ and _____

STATE OF WASHINGTON

COUNTY OF THURSTON

On this _____ day of _____, _____ before me personally appeared _____

and _____ to me know to be the individual(s) described and who executed the foregoing instrument and acknowledge that said instrument to be free and voluntary act and deed of said private lot owner(s) for the use and purposes therein mentioned.

Given under my hand and official seal this _____ day of _____, _____

Notary Public in and for the State of Washington

Residing in _____

My commission expires _____

Dated in Olympia, Washington this _____ day of _____, _____

Carlyon Beach Homeowner's Association _____

STATE OF WASHINGTON

COUNTY OF THURSTON

On this day and year below personally appeared before me _____ as authorized agent for the Carlyon Beach Homeowner's Association, who acknowledged that the aforementioned instrument to be free and voluntary for the use and purposes therein mentioned, and oath states he/.she./they is authorized to execute said instrument.

Given under my hand and official seal this _____ day of _____, _____

Notary Public in and for the State of Washington

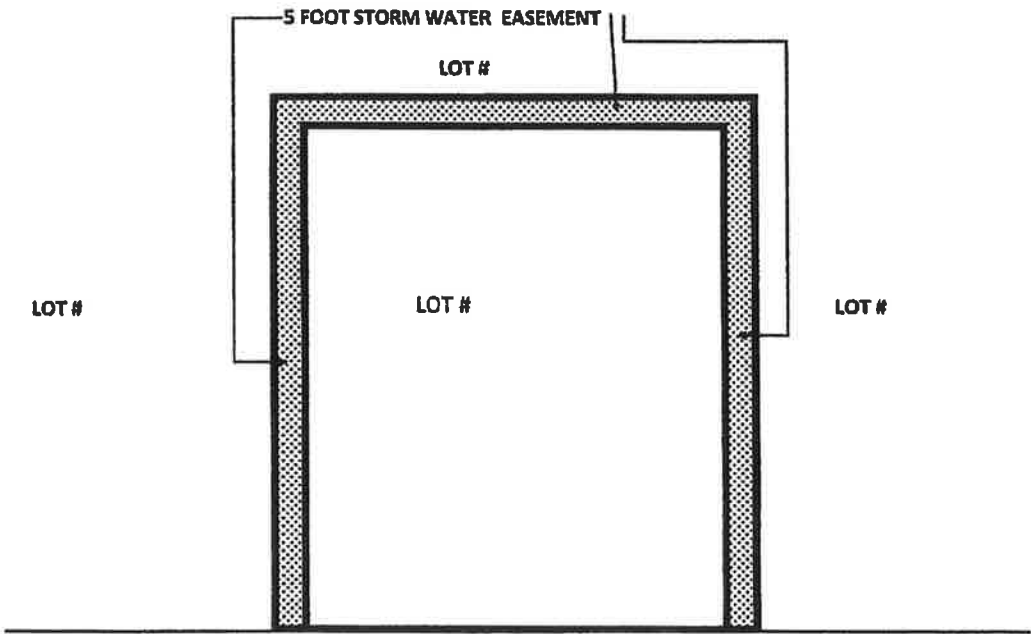
Residing in _____

My commission expires _____

STORM WATER EASEMENT EXHIBIT "A"

LOT ADDRESS	_____
PLAT	_____
LOT NUMBER	_____
BLOCK NUMBER	_____
DIVISION	_____
OWNER(S)	_____
STREET ADDRESS	_____
CITY	_____
STATE	_____ ZIP _____
PHONE	_____

NORTH ARROW



Who filled out this form?

Signature _____

Printed _____

Date _____

STORMWATER EASEMENT

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, the undersigned Grantor(s) do (es) give and grant to Carlyon Beach Homeowner's Association, it's heirs and assigns a 5' wide storm water/utility easement for the purpose of construction, repair, and maintenance of Storm Water Conveyance and/or Potable Water Pipelines And Appurtenances.

PARCEL: * Owner's Parcel Number

See Exhibit "A" attached hereto and by the reference is a part of

PERMANENT EASEMENT:

Said easement is described as follows, TO WIT:

****The west 5 feet 120 feet along west property line; then the north 5 feet 70 feet along the north property line; then the east 5 feet along the east property line.***

NOTE *(The above description is an example only of a very simple easement. The dimensions and directions must match the owner's lot)*

(To find all the information on your lot either refer to your paperwork when you purchased the property or go to Thurston County Assessor's web site and click on property search, enter your name or address and you will bring up a parcel number. Click on the parcel number and it will bring up the information you need.)

Said easement shall include the right of ingress and egress to, upon, and over said land at all times, to construct, maintain, and operate, repair, and replace said utility provided however, that Carlyon Beach Homeowner's Association shall be given the right to utilize such additional width as may be available and necessary temporarily for the placing of excavated materials thereon, and for other construction and maintenance operations.

The Carlyon Beach Homeowner's Association, its heirs and assigns agree that in construction, maintenance, operation, repair, or replacement of said utility on the above described property, that it will, at its own expense, restore surface of said land to the same conditions which existed prior thereto.

By _____

SAMPLE

STORMWATER AND WATER SYSTEM EASEMENT EXHIBIT "A"

LOT ADDRESS:

LOT NO.:

BLOCK NO.:

DIVISION NO.:

OWNER(S):

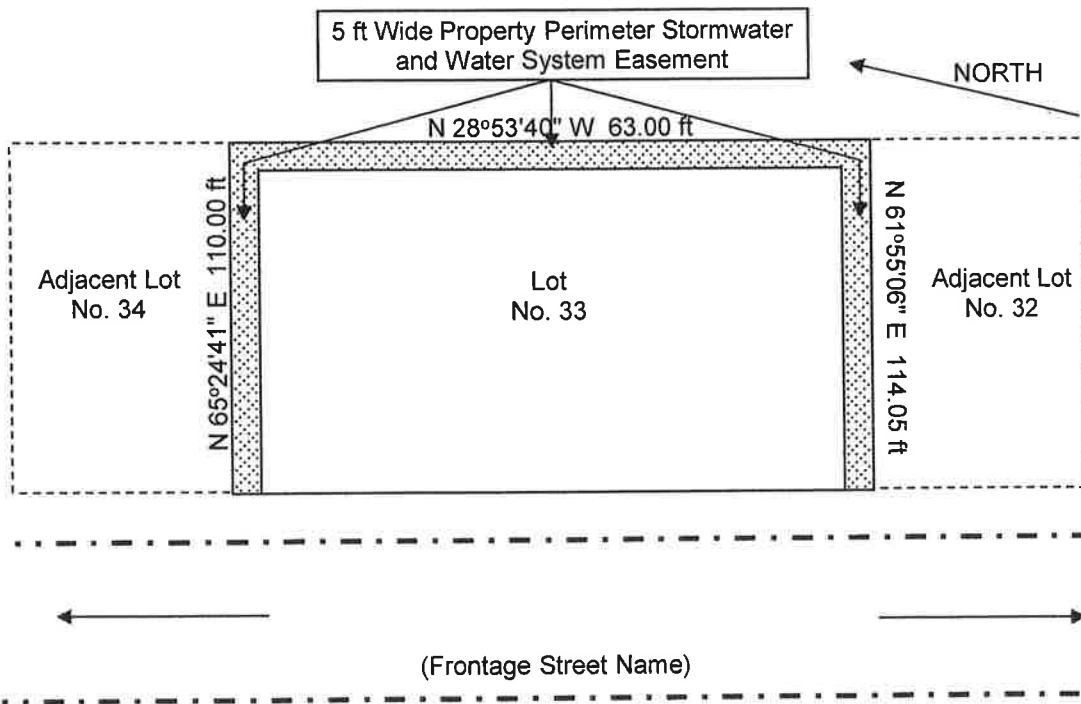
STREET ADDRESS:

CITY: Olympia

STATE: Washington

ZIP CODE: 98502

TELEPHONE:



Form Prepared By: _____

Signature: _____

Date: _____

**CARLYON BEACH HOMEOWNERS
ASSOCIATION**

**SEPTIC & STORM WATER DRAINAGE
INFORMATION**

SEPTIC TANK INFORMATION
SPECIFICATIONS AND INSTALLATION
FOR CARLYON BEACH

Septic Requirements for Carlyon Beach:

All tanks shall consist of pre-cast concrete with 2 chambers (larger 67% of total capacity and smaller 33 % of total capacity) and shall have been designed by a structural engineer licensed to practice in the state of Washington.

Recommended and approved septic tank suppliers are: Evergreen Precast, Cascade NW or Sound Placement Services. If any other supplier or manufacturer will be used, all specs. need to be supplied to the CBHA Septic Inspector before installing. CBHA reserves the right to require more stringent tank requirements as better technology and construction become available.

Refer to CBHA Rules and Regulations and/or the Owner/Builder Checklist attached for testing requirements.

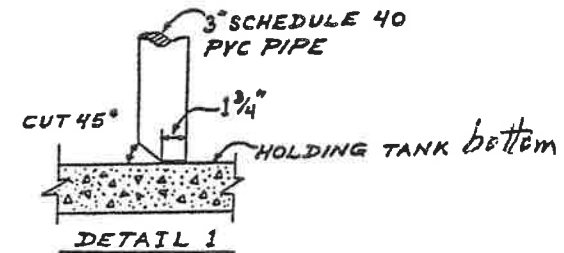
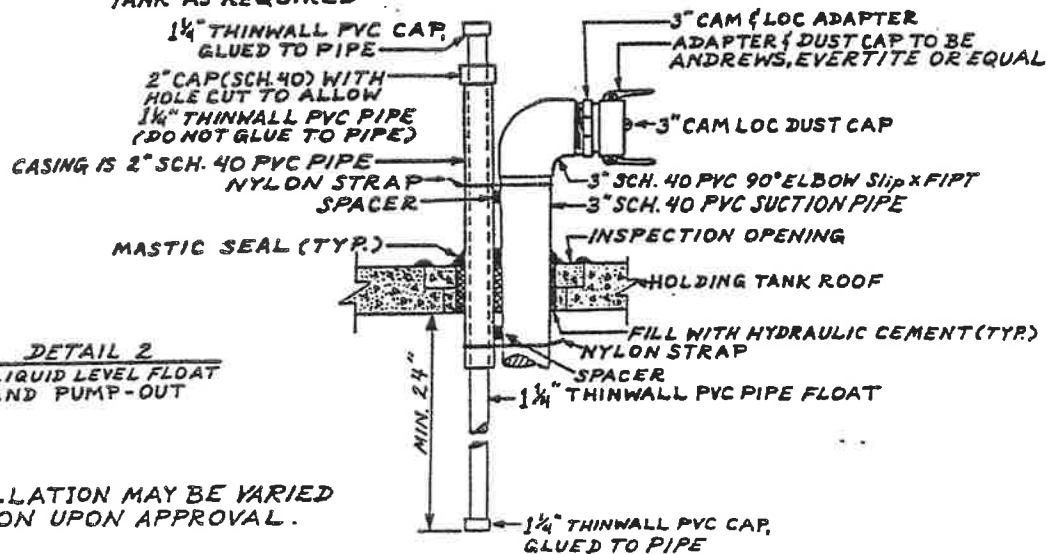
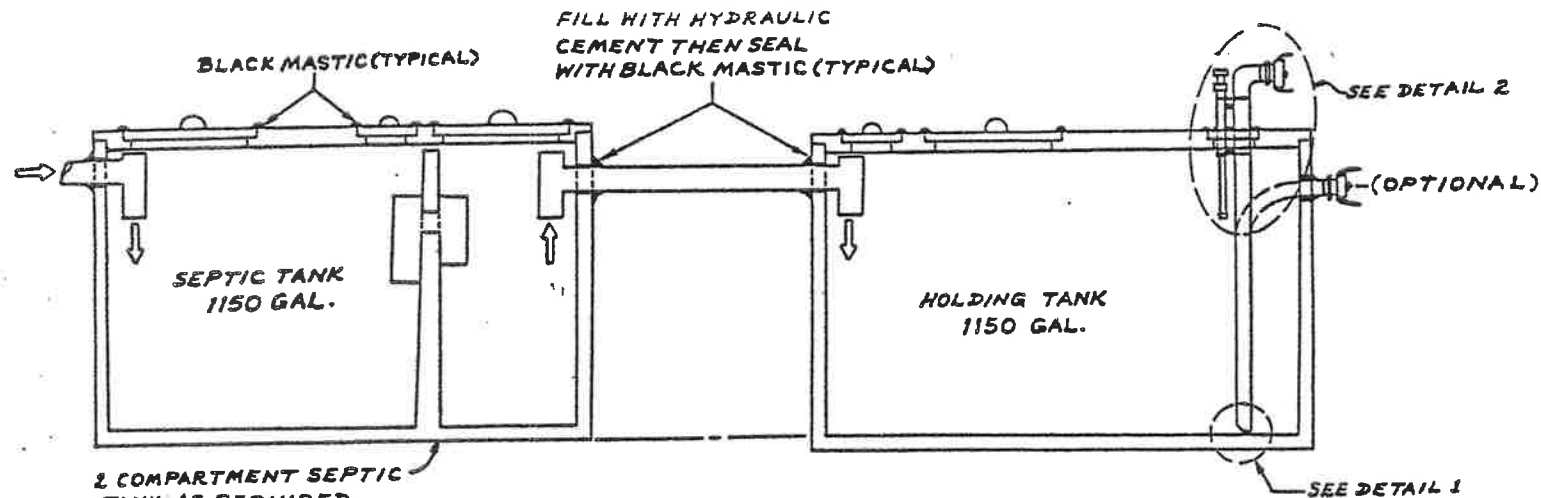
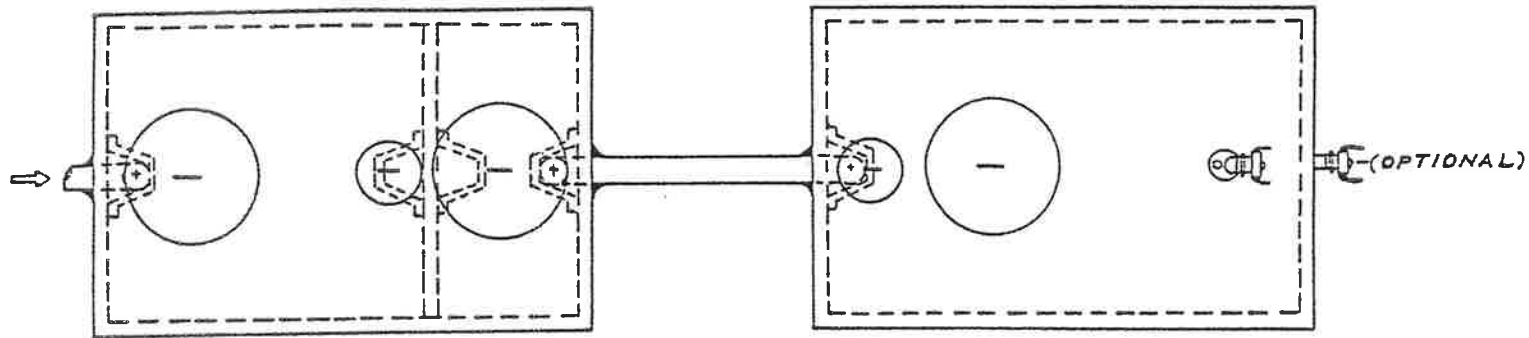
Following are Septic tank installation instructions and diagrams showing details for the tanks.

ONSITE WASTE WATER TANK INSTALLATION SPECIFICATION CARLYON BEACH SUBDIVISION

Installation of onsite waste water holding tanks shall be performed in accordance with the standards set forth by the Washington State Department of Health, Thurston County Environmental Health Department and the tank manufacturer.

In addition to the above, all onsite waste water tanks to be within the franchise area of the Carlyon Beach Homeowners Association waste water treatment facilities, shall meet the following requirements:

- Excavation for all tanks, inlets, and outlets shall be sufficient to leave one foot of clear space between the outer surfaces and the earth bank.
- Tank lid shall be set to project no more than two inches above the surrounding ground level and no more than two feet below the existing ground level.
- Tank lid shall be sealed with a mastic strip or suitable sealant in accordance with the manufacturer's recommendations.
- Tanks and inlet and outlet pipelines shall be constructed on sound undisturbed granular sub grade or gravel backfill for pipe bedding per the latest edition of the Washington State Department of Transportation Standard Specifications for Road, Bridge, and Municipal Construction (Standard Specifications).
- Tank excavation shall be dewatered prior to setting tank. In the event that groundwater inflow into the excavation is rapid and results in a buoyant condition, the tank shall be filled with water to overcome buoyancy.
- Tank excavation shall be maintained in a water-free condition throughout backfilling.
- Tank excavation shall be backfilled with native material, sand, or gravel fill. No rocks larger than two inches will be permitted in the backfill.
- Backfill shall be placed and compacted in 12-inch lifts around the tank exterior and beneath the tank inlet and outlet pipes to the top of the tank.
- Where tank lids extend above the natural ground level, soil shall be graded to be level with the top of the tank for at least 12 inches beyond the limits of the tank lid.
- All pipelines shall be installed in accordance with the lines and grades specified on the approved site development plan or at a minimum grade of 2%.
- All pipe connections shall be watertight and in conformance with the manufacturer's recommendations.
- All pipes passing through the pipe walls shall be sealed with Adeka P201 water sealant on both the inside and outside of the tank.
- Tank lids shall have no opening other than the tank maintenance accesses.
- Tank lid openings shall be fitted with the circular fiberglass risers specified by the tank manufacturer.
- Fiberglass risers shall be sealed to the fiberglass ring inset in the tank lid using the manufacturer's recommended adhesive.
- Exterior riser joint at the tank lid shall be surrounded with a fillet of FX-I-Jet Set to preclude surface water accumulation around the lid base.
- All tanks shall be tested for water tightness again after installation and backfilling by filling the tank up to a minimum of three inches above the top of the tank lid (including connected pipelines) and letting it stand for 24 hours (presoak). The tank shall then be tested in the presence of a CBHA-designated inspector. After presoak, the tank shall be refilled up to three inches above the tank lid and monitored for two hours. The tank shall show NO loss of water during the two-hour hold period. The tank exterior shall show no leakage from section seams, pinholes, or other imperfections. No allowance will be made for absorption of water into the concrete after the presoak period. Any water loss or leakage shall be considered cause for rejection.

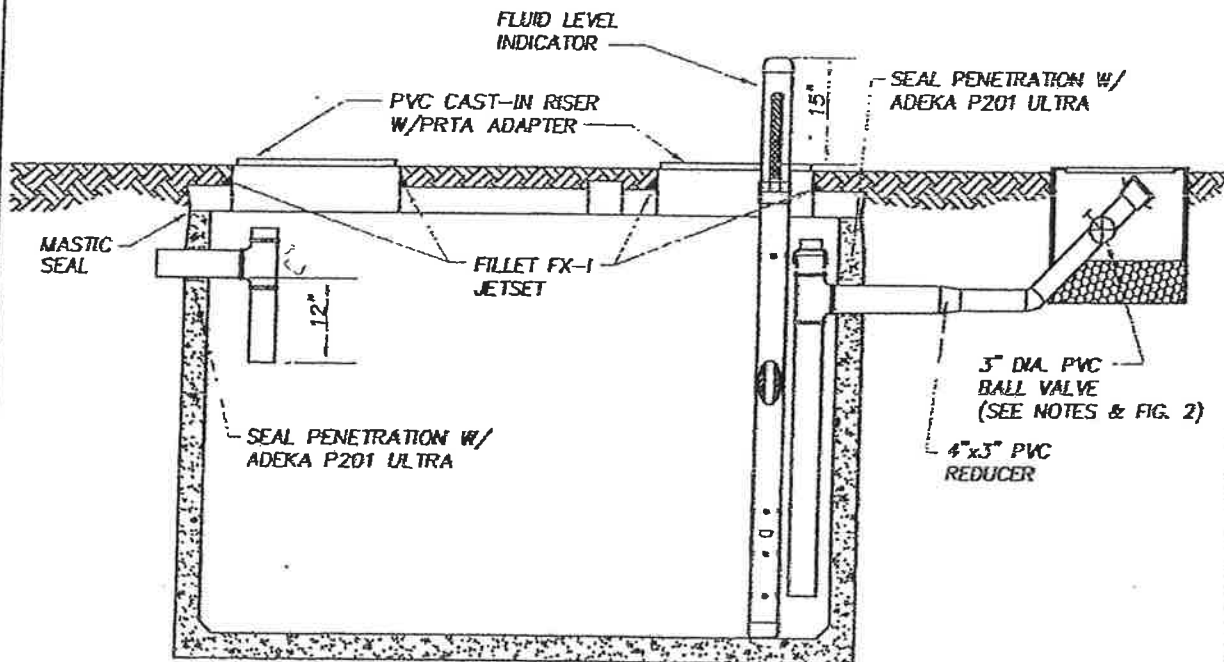
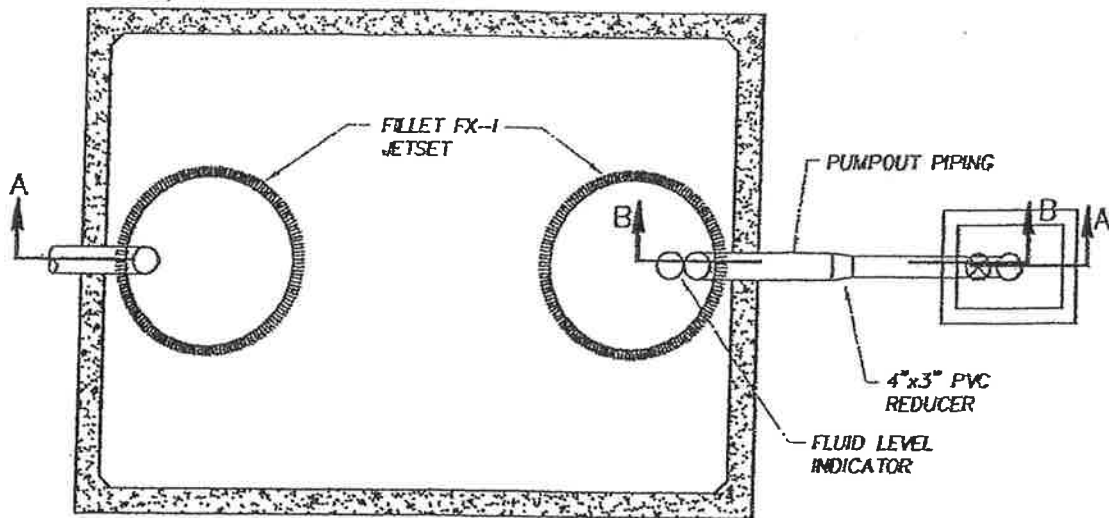


DETAIL 2
LIQUID LEVEL FLOAT
AND PUMP-OUT

NOTE:
TYPICAL INSTALLATION MAY BE VARIED
CONFIGURATION UPON APPROVAL.

CARLYON BEACH HOLDING TANK DETAIL			
SCALE NOSCALE		APPROVED BY:	DRAWN BY: PAA
DATE APR. 1992		CHECKED BY:	
CARLYON BEACH HOMEOWNERS ASSOCIATION			
		1	

SANITATION DETAILS



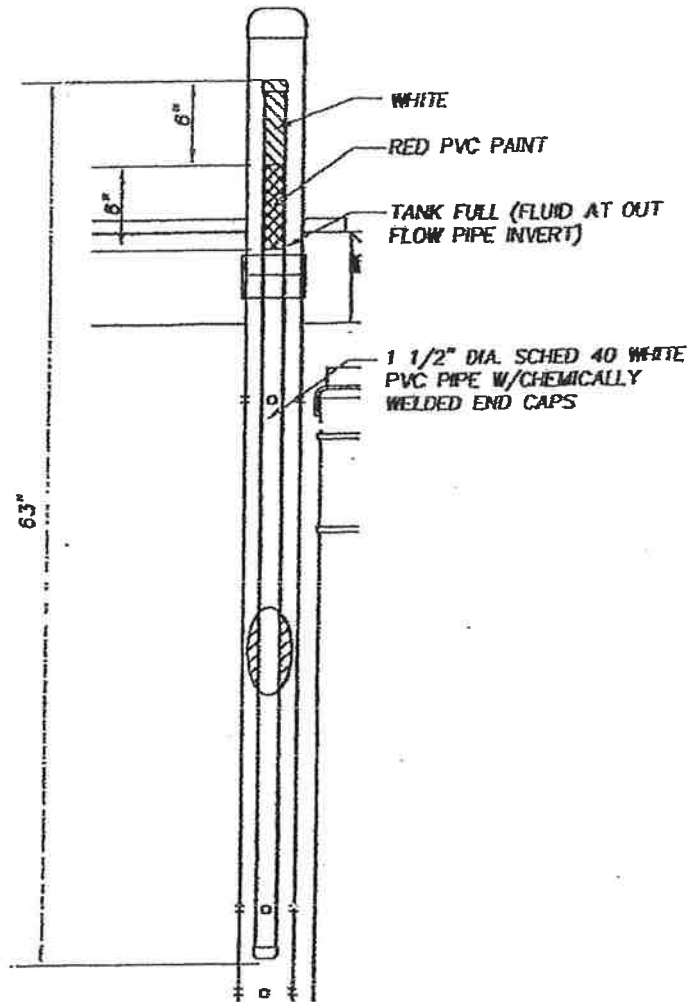
JWMSA Civil & Municipal • Geotechnical Engineering and Planning
 JAMES W. MONTGOMERY & ASSOCIATES INC., P.E.
 1700 Cooper Point Road SW, 35-2, Olympia, WA 98512-1110 • PHONE 360-942-6426 • FAX 360-942-6900

HOLDING
TANK

CARLYON BEACH
SUBDIVISION

11/29/01
00164-T

FIGURE 1



ELEVATION
INDICATOR FLOAT STAFF

JWMSA

City & Municipal & Geotechnical Engineering and Planning

James W. Morrison & Associates Inc., P.E.

2700 Cooper Point Road SW, Ste 2, Olympia, WA 98502-1110 • (360) 352-0456 • FAX (360) 352-0090

HOLDING
TANK

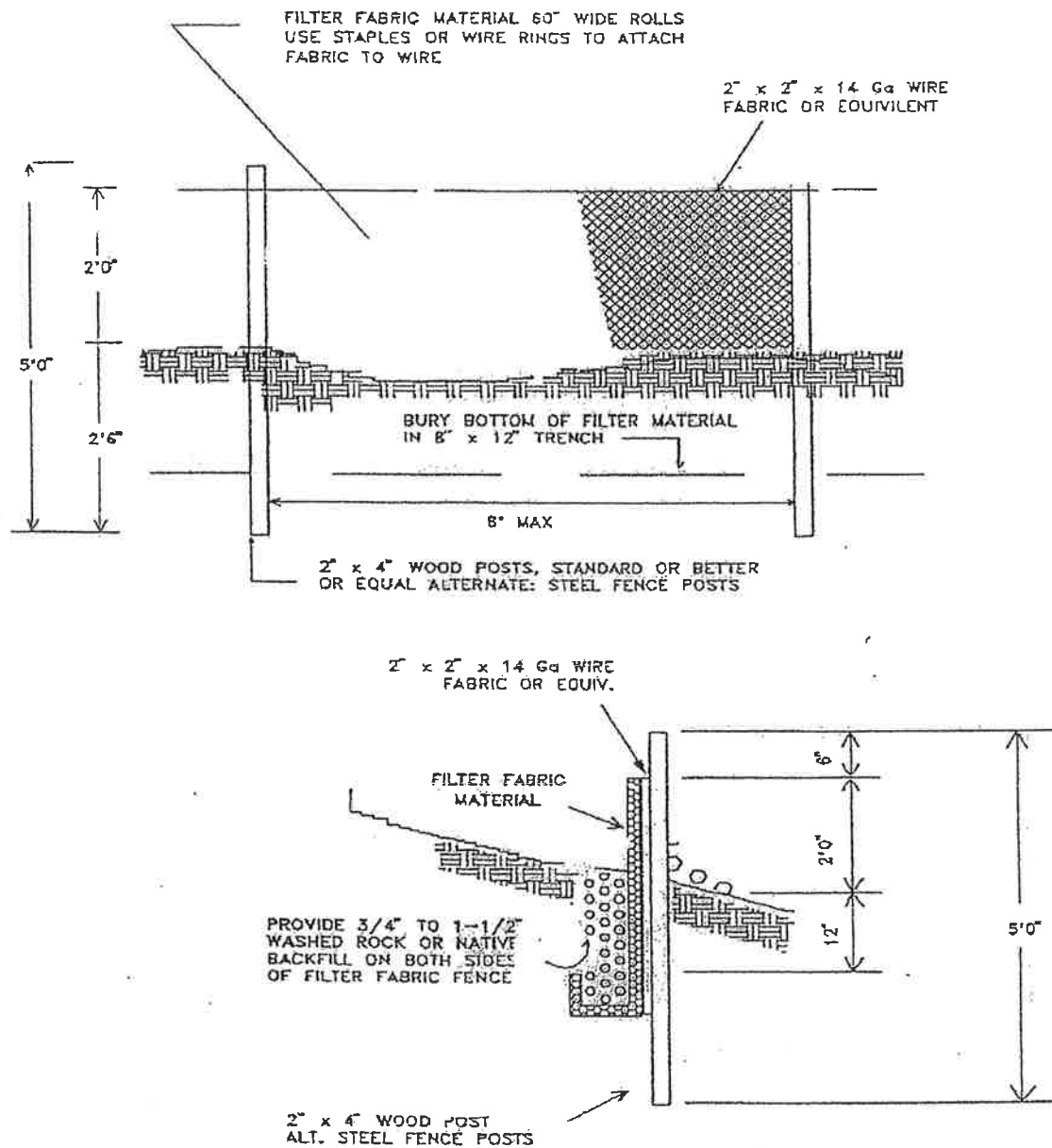
CARLYON BEACH
SUBDIVISION

11/28/04
00164-1

FIGURE 3

**ADDITIONAL INFORMATION
THAT MAY BE
NEEDED**

STORM DRAINAGE DESIGN MANUAL FIG B2

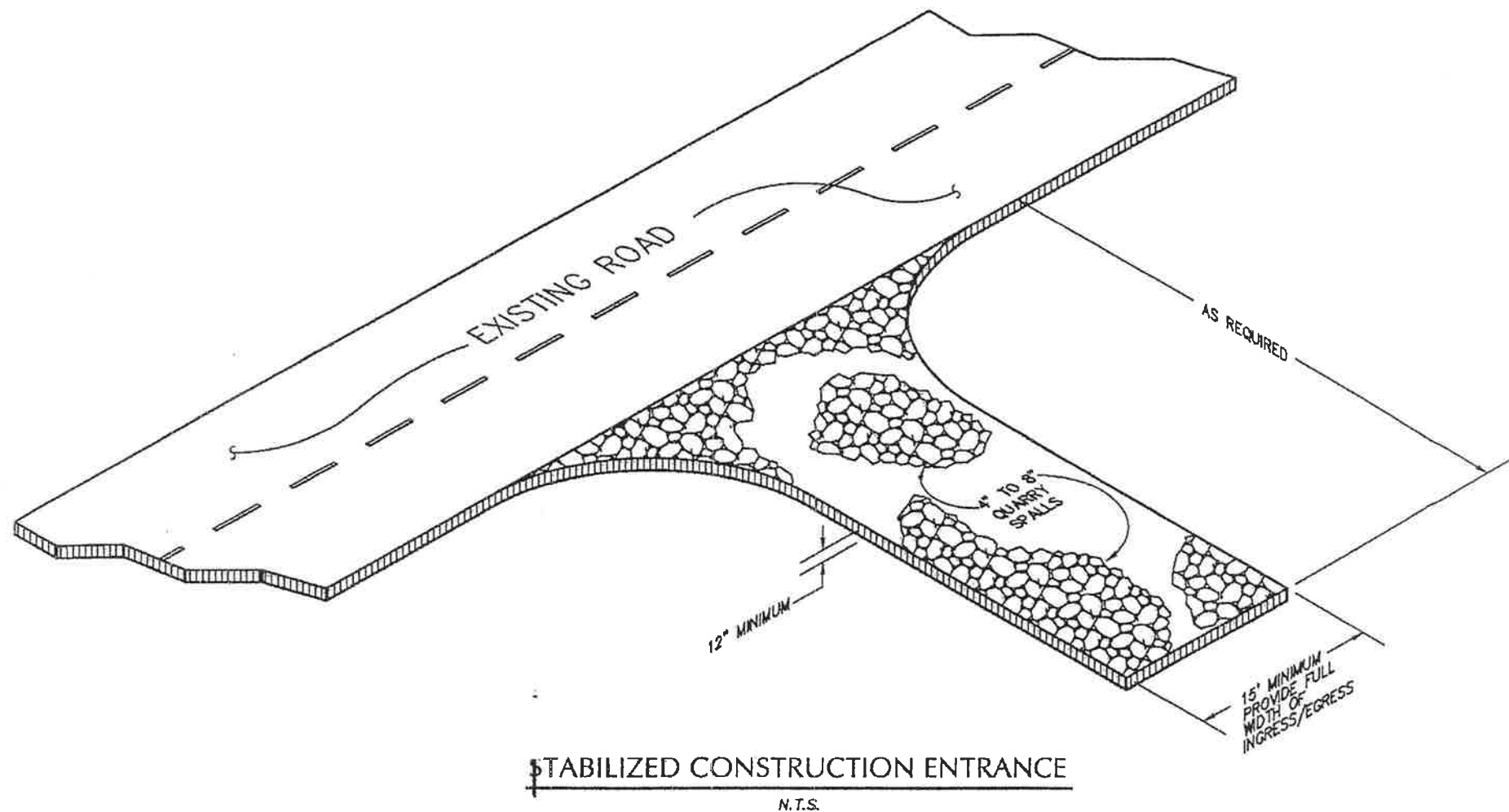


FILTER FABRIC FENCE DETAIL

JWM&A

JEROME W. MORRISSETTE AND ASSOCIATES INC., P.S.
CIVIL AND MUNICIPAL ENGINEERING AND PLANNING
1700-B2 COOPER POINT ROAD SW
OLYMPIA, WASHINGTON 98502

SILT FENCE DETAIL



JWM&A

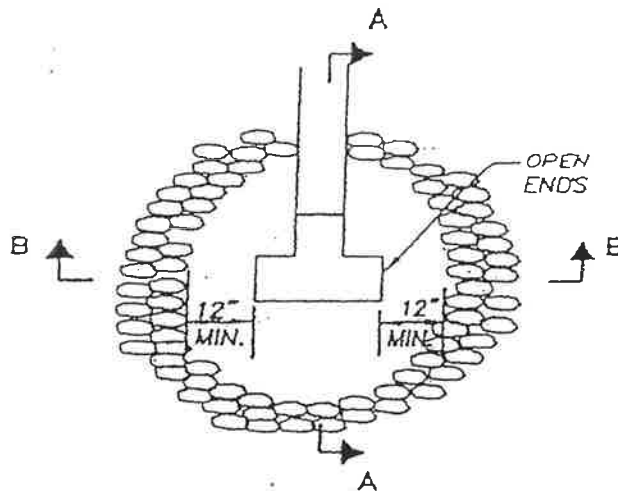
JEROME W. MORRISSETTE AND ASSOCIATES INC., P.S.
 CIVIL AND MUNICIPAL ENGINEERING AND PLANNING
 1700-B2 COOPER POINT ROAD SW
 OLYMPIA, WASHINGTON 98502

TEL. (360)352-9456

FAX (360)352-9990

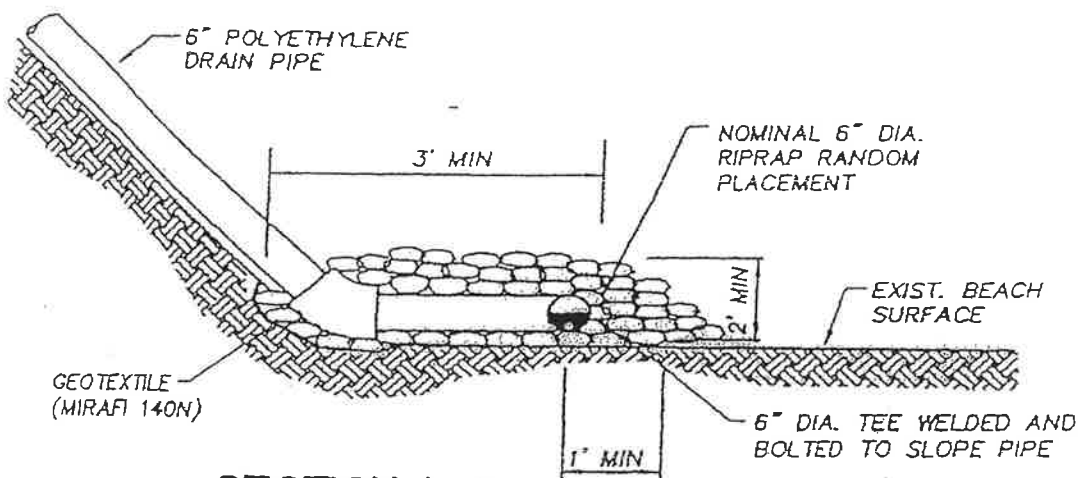
CONSTRUCTION ENTRANCE DETAIL

Figure 9



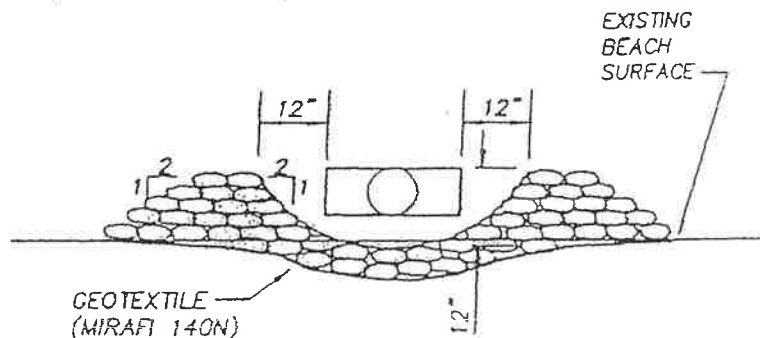
**PLAN
RIPRAP DIFFUSER**

N.T.S.



**SECTION A-A
RIPRAP DIFFUSER**

N.T.S.



**SECTION B-B
RIPRAP DIFFUSER**

N.T.S.

JMW&A

JEROME W. MORRISSETTE AND ASSOCIATES INC. P.S.
CIVIL AND MUNICIPAL ENGINEERING AND PLANNING
1700-34 COOPER POINT ROAD
OLYMPIA WASHINGTON 98508

(360) 362-8400
(360) 362-9900

PHONE
FAX

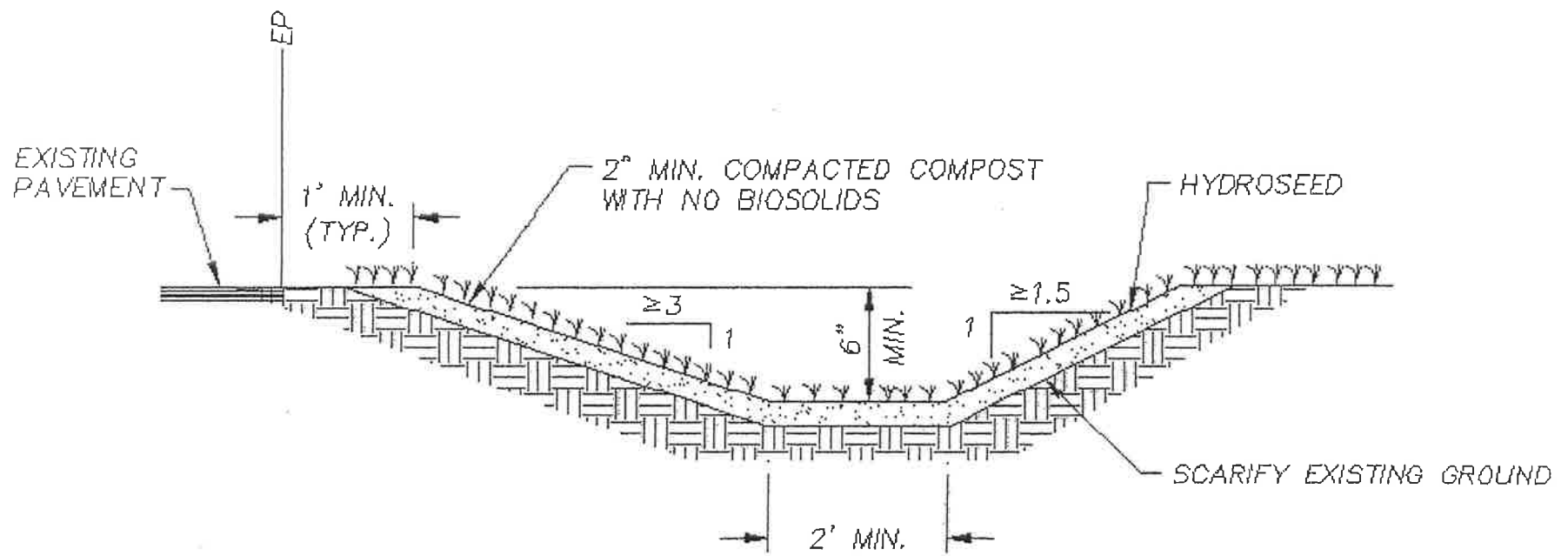
DETAILS

TYPICAL RESIDENTIAL SITE
STORMWATER SYSTEM

CARLYON BEACH

JOB NO. M143-4

FIGURE 8



BIOFILTER SWALE (SECTION)

N.T.S.

JWM&A

JEROME W. MORRISSETTE AND ASSOCIATES INC., P.S.
CIVIL AND MUNICIPAL ENGINEERING AND PLANNING
1700-B2 COOPER POINT ROAD SW
OLYMPIA, WASHINGTON 98502

TEL. (360)352-9456

FAX (360)352-9990

BIOFILTER SWALE DETAIL

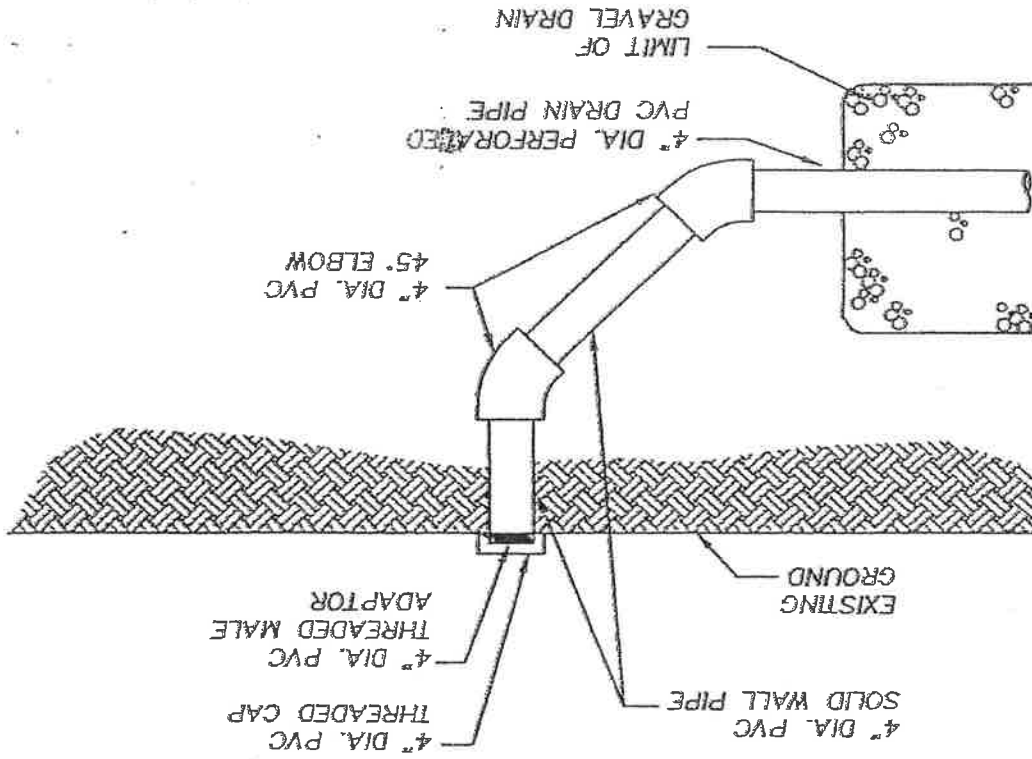
Figure 8

FOOTING DRAIN DETAILS

JWM&A

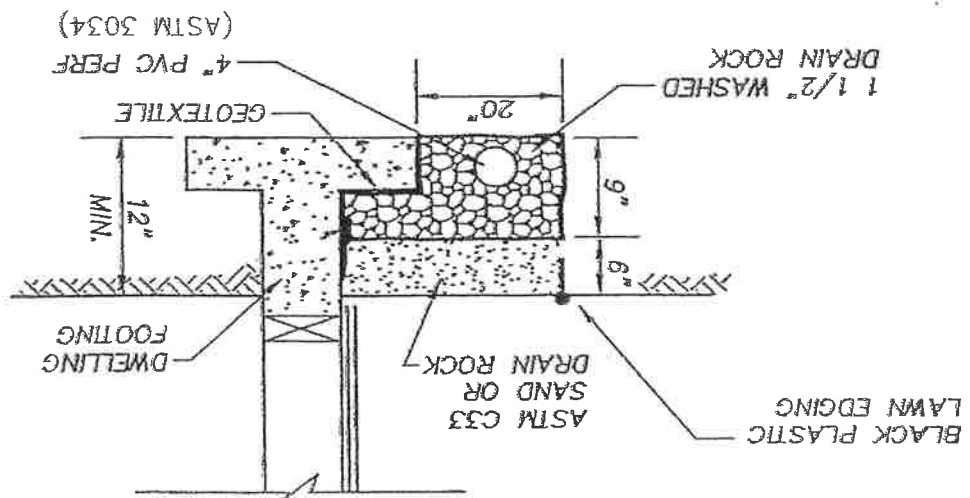
N.T.S.

DETAIL
FOOTING DRAIN AND CLEANOUT



N.T.S.

DETAIL
FOOTING DRAIN



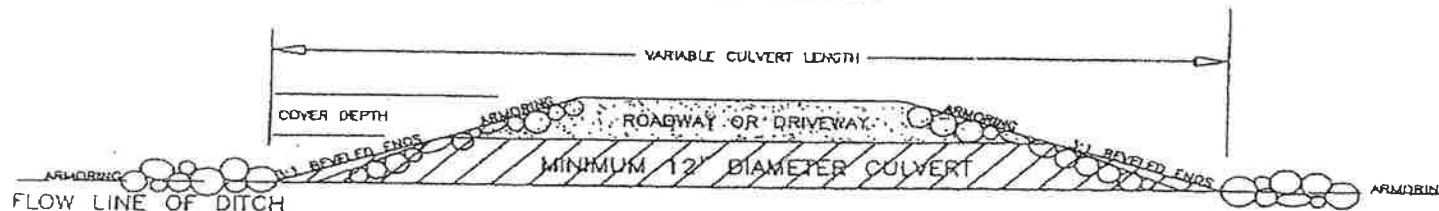
REVISION

PVC Pipe for driveway culverts is not permitted per CBHA Rules &

	DRIVEWAY MINIMUM COVER	ROADWAY MINIMUM COVER
4" (PVC PIPE)	6"	12"
CONCRETE	6"	12"
CORRUGATED METAL, ALUMINIZED	6"	12"
DUCTILE IRON (STEEL)	2"	10"

REVISION

Culvert end bevel is optional on culvert crossings.
Driveway fill must be constructed to minimum 3:1



NOTES:

- 1) DRAWING IS NOT TO SCALE.
- 2) CULVERT BOTTOM IS TO MATCH EXISTING FLOW LINES.
- 3) USE 4-6" RIP RAP OR HAND-PLACED NATURAL ROCK ARMORING.
- 4) ~~USE MINIMUM 3:1 BEVELED ENDS ON BOTH INFLOW AND OUTFALL OF CULVERT.~~
- 5) ZINC COATED METAL PIPE IS NOT ALLOWED. (TCRS APP. J-A, STANDARD NOTE F)
- 6) IF PIPE MATERIAL IS NOT LISTED ABOVE, CONTACT DEVELOPMENT REVIEW AT 754-3355 EXT 7586.
- 7) MINIMUM COVER IS TO BE MEASURED AT THE OUTSIDE EDGE OF THE ROADWAY.
- 8) MINIMUM LENGTH FOR DRIVEWAY CULVERT IS 21' AND ROADWAY CULVERT IS 26'.
- 9) DRIVEWAY OR ROADWAY IS TO BE LEVEL WITH COUNTY ROAD AND SLOPED TO PROPERTY. (TCRS APP. J-A)

JWM&A

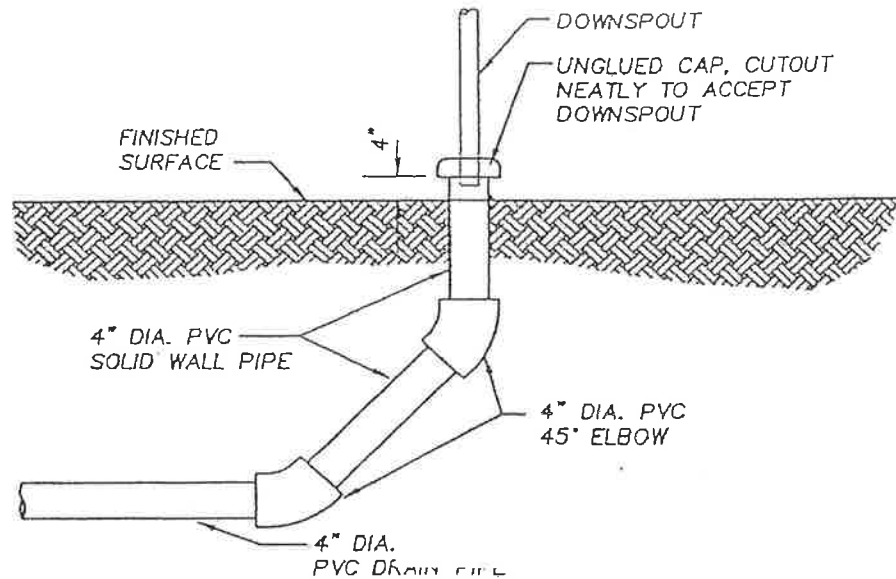
JEROME W. MORRISSETTE AND ASSOCIATES INC., P.S.
CIVIL AND MUNICIPAL ENGINEERING AND PLANNING
1700-B2 COOPER POINT ROAD SW
OLYMPIA, WASHINGTON 98502

TEL. (360)352-9456

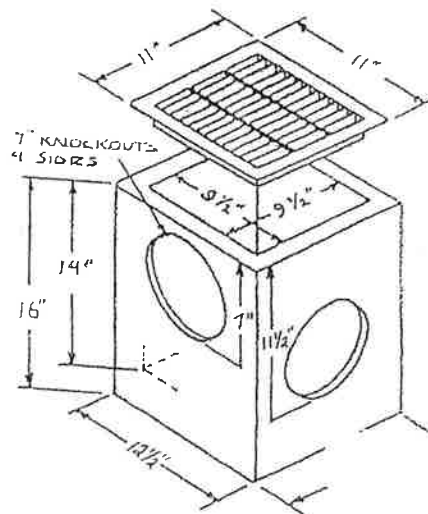
FAX (360)352-9990

DRIVEWAY CULVERT DETAIL

Figure 7



DETAIL
ROOF DOWNSPOUT CONNECTION CLEANOUT
N.T.S.



DETAIL
DRIVEWAY, YARD & PATIO INLET
N.T.S.

JWM&A

JEROME W. MORRISSETTE AND ASSOCIATES INC., P.S.
CIVIL AND MUNICIPAL ENGINEERING AND PLANNING
1700-B2 COOPER POINT ROAD SW
OLYMPIA, WASHINGTON 98502

DETAILS - ROOF DOWNSPOUT & YARD CB

Carlyon Beach Homeowners Association

2719 Island Dr. NW. Olympia, WA 98502-9712
(360) 866-0717 Fax (360) 866-4520
Email: memberservices@carlyonbeachhoa.com
Website: www.carlyonbeachhoa.com



Contractor/Owner

Re: Damaged Bio Swales & Shoulder of Roads

This letter is to remind you that should you cause damage to CBHA-owned roads, bioswales and rights-of-way during the course of your construction project, you may be required to stop work to repair and prevent further damage before continuing the project. Excessive mud on the CBHA roads as determined by a member of the architecture committee, employee, or Trustee may cause your project to be red tagged until the situation is resolved. In addition, construction vehicles should not be parked in the road.

The following Rules and Regulations are in place:

Page 5 Section V. Vehicles and Recreational vehicles

2. No parking is allowed on CBHA-owned surfaced roads, access roads, rights of way or drainage areas (such as roadside ditches) at any time

Page 9 Section X. Roads and Stormwater

1. No parking is allowed on CBHA-owned surfaced roads, access roads, rights of way or drainage areas (such as roadside ditches) at any time. No building, trees, or shrubbery shall impede sight distance on any roads. None of the aforementioned will block or interfere with drainage on CBHA property. Improperly parked or placed property may be removed at the owner's expense.

Page 20 Section XVI-D

Phase 4: Clean-up and Restoration

Any damage to roads, bio-swales or properties caused during construction, etc. will be the owner's responsibility. These areas must be restored within thirty (30) calendar days of

notification at the owner's expense to the satisfaction of the CBHA Board of Trustees. Failure to do so will result in a deduction from the deposit. Further, a **\$5,000** fine may be imposed and a lien (and all lien fees applied) may be placed on the property. CBHA will restore or have restored the areas at the owner's expense. The lien will be released when all monies, including the lien costs, are paid in full.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Bill Allen'.

Bill Allen

Board Architecture Trustee

A handwritten signature in cursive script, appearing to read 'Dave Malaspino'.

Dave Malaspino

CBHA Building Compliance Inspector

View Friendly Plantings

The following plants include ornamental species suitable for Western Washington and a view community such as Carlyon Beach. This list is not all inclusive. Trees and Shrubs should be selected and positioned so that at maturity they do not interfere with neighbor's views.

Low Shrubs--to 6'

<i>ABELIA</i> Edward Goucher	Edward Goucher Abeilia
<i>AUCUBA japonica nana</i>	Dwarf Aucuba
<i>BERBERS</i>	Darwin & Warty Barberry
<i>CARPENTERIA californica</i>	Mock Orange
<i>CHAMAECYPARIS obtuse nana</i>	Dwarf Hinoki Cypress
<i>CHAMECYPARIS pisifera filifera</i>	Thread Cypress
<i>CHOSIYA ternata</i>	Mexican Orange
<i>COTONEASTER microphyllus</i>	Rockspray Cotoneaster
<i>DAPHNE</i>	Odora & Collina
<i>ESCALLONIA kompakta</i>	'Kompakta' & 'Fradesii' & 'Jubilee'
<i>GAULTHERIA shallon</i>	Salal
<i>ILEX crenata</i>	Japanese Holly & Buffords Holly
<i>KALMIA latifolia</i>	Mountain Laurel
<i>LEUCOTHOE catesbaei</i>	Drooping Leucothoe -also Texas sage
<i>LIGUSTRUM japonica</i>	Wax-leaf Privet
<i>MAHONIA aquifolium</i>	Oregon Grape
<i>NANDINA domestica</i>	Heavenly Bamboo -some compacts
<i>OSMANTHUS delavayi</i>	Delavay Osmanthus
<i>PIERSS japonica</i>	Andromeda or Lily of the Valley shrub
<i>PINUS Mugo mughus</i>	Mugho Pine
<i>PITTOSPORUM tobira</i>	Wheeler's Dwarf Pittosporum
<i>POTENTILLA fruticosa</i>	Bush Cinquefoil
<i>PRUNUS</i>	'Otto Luyken' Laurel
<i>RHAPHIOLEPIS indica</i>	Indian Hawthorn
<i>RHODODENDREN</i>	Many - Also Azaleas
<i>TERNSTROEMIA japonica</i>	Relative of Camellia
<i>THUJA orientalis Berkmani</i>	'Berkmans' Dwarf arborvitae

Deciduous Trees--to 20'

<i>ACER ginnala</i>	Amur Maple - variety "Flame" Bright red fall foliage
<i>ACER griseum</i>	Paperbark Maple
<i>ACER palmatum (some)</i>	Japanese - Bloodgood or Bloodleaf
<i>BETULA youngi</i>	Weeping Birch
CORNUS	
• <i>alternifolia</i>	Pogoda Dogwood
• <i>Welshi</i>	Tri-color Dogwood
• <i>Kousa</i>	Kousa-Gold Star
• <i>Xrutgersensis</i>	Stellar Dogwood - many varieties
<i>COTINUS coggyria</i>	Purple - Leaf Smoke Bush Variety 'Grace' shorter
<i>MAGNOLIA stellata</i>	Star Magnolia
MALUS	
	Crabapple-some varieties-
	'Arnold'- 'Parkman'- 'Sargent'-
	'Floribunda'- Echterineyer- Weeping
<i>PRUNUS (flowering cherry)</i>	Shogetsu - Tri Loba - Weeping Cherry
<i>SOPHORA</i>	Weeping Pagoda Tree
<i>STEWARTIA</i>	Mountain stewartia & variety 'Grandiflora'
<i>ULMUS</i>	Camperdown Elm - weeping

Low Conifer Trees--to 20'

<i>CHAMAECYPARIS obtuse gracilis</i>	Slender Hinoki Cypress
<i>CHAMAECYPARIS pisifera 'Cyano Viridis'</i>	Boulevard False Cypress
<i>TSUGA mertensiana</i>	Mountain Hemlock
<i>THUJA occidentalis Pyramidalis</i>	Pyramidalis (easily maintained)
<i>TAXUS baccata stricta</i>	Irish Yew (easily maintained)

Native Plants

<i>Acer circinatum</i> *	Vine Maple: 15-25', drought tolerant, beautiful in groves or as individuals. Nice winter form.
<i>Amelanchier alnifolia</i>	Serviceberry: 6-8', Deciduous, erect shrub with clusters of pristine white flowers followed by ½ inch purple berries loved by birds and people for pies and jam. Tolerates full, hot sun.
<i>Cornus sericea, occidentalis</i>	Red-osier dogwood, creek dogwood, red-twig dogwood (to 15')
<i>Gaultheria shallon</i>	Salal (3'-7')
<i>Holodiscus discolor, creambush, arrowwood, rock-spiraea</i>	Oceanspray, (to 15')
<i>Lithocarpus densiflorus var echinoides</i>	Tanbark Oak: 6-8', Handsome evergreen. New growth is silvery to cream to pink. The species is tall, so be sure to get var. echinoids.
<i>Lonicera ciliosa</i>	Orange honeysuckle, trumpet honeysuckle (10' to 20')
<i>Oemleria cerasiformis</i>	Indian-plum, osoberry (5' – 16')
<i>Physocarpus capitatus</i>	Pacific ninebark, ninebark (6'-13')
<i>Ribes sanguineum</i>	Red flowering currant: 6-9', lovely spring flowers attract hummingbirds. An exceptional Northwest native, prized by gardeners.
<i>Rosa gymnocarpa</i>	Baldhip rose, naked-hip rose, little wild rose, little wood rose, wood rose (to 6')

* For height considerations, prune trees when young to encourage horizontal rather than vertical growth. Do not prune Maples from Christmas to May (when sap is running).